

AVENEL COMMUNITY ASSOCIATION MODIFICATION APPLICATION

THE MODIFICATIONS COMMITTEE MEETS MONTHLY ON THE SECOND MONDAY OF THE MONTH. PLEASE BE SURE TO SUBMIT YOUR APPLICATION TO THE ACA OFFICE BY NOON ON THE FIRST MONDAY OF THE MONTH.

INSTRUCTIONS:

Please provide detailed information on all proposed modifications, alterations, and improvements on your lot. Be sure to include color, material, design, dimensions, layout, landscaping, and any other details, which might clarify your proposal for the Modifications Committee. Then attach any detailed sketches, architectural plans, and a specification sheet and, where applicable, the application fee. A written response to your application will be provided through regular mail within sixty (60) days after the full and complete application package has been received. The application will not be considered complete if the Modifications Committee has issued notification that additional information is required. The application will not be considered complete triggering this sixty (60) day period until such requested additional information has been submitted.

Terms used herein shall have the same meaning as that contained in the Architectural Guidelines or if not defined therein as contained in the Covenants and Declaration.

ALL DRAWINGS SHOULD BE SUBMITTED ON PAPER, NO LARGER THAN 11 X 17. LARGER SIZED DRAWINGS WILL NEED TO BE SUBMITTED WITH 10 COPIES.

The completed application should be sent to the Modifications Committee, via Avenel Community Association, 9501 Beman Woods Way, Potomac, MD 20854 or faxed to 301-299-7169.

NAME: _____
ADDRESS: _____
PHONE#: _____ LOT# _____
E-MAIL ADDRESS: _____

PROPOSED CHANGES:

INTERIOR KITCHEN RENOVATION WITH EXTENSION SCREENED PORCH.
EXTENSION FINISHES TO MATCH EXISTING AS CLOSELY AS POSSIBLE.

ESTIMATED STARTING DATE: 4/1/17 COMPLETION DATE: 7/1/17

Approvals granted by the Modifications Committee are done so on a case by case basis. The Committee's goal is to preserve Avenel's traditional quality by maintaining the continuity within each village and the community wide high aesthetic standards that are unique to ACA. Applications are reviewed to be in compliance with the Governing Documents and the Architectural Guidelines. The Modifications Committee members and ACA staff, and their consultants, if any, have the right to enter upon applicant's property in review of this application. All communication regarding this application should be directed to the ACA office staff. Approvals in no way indicate that the Modifications Committee has made engineering reviews or conducted physical surveys relative to the proposed change. Although the Modifications Committee may engage the services of consultants to provide assistance in the review process, such consultation relates solely to review for compliance with the Guidelines and the Governing Documents and is not intended to be a review of codes or structural analysis and the applicant retains all responsibilities and

complying with any set back requirements. Neither the Modifications Committee nor the ACA staff shall be responsible for determining lot line boundaries or other location requirements. The applicant retains all responsibilities associated with such compliance. The undersigned applicant hereby acknowledges sole responsibility to ensure that the proposed changes do not adversely impact drainage or other environmental and topographic conditions, that any and all changes shall be located on applicant's lot, that all permits required are obtained, and that the changes are in compliance with the laws of both Montgomery County and the State of Maryland and any other applicable laws. By submitting this application, applicant understands and acknowledges that there may be various zoning, building and safety code requirements that may be applicable to the proposed modification and that the applicant, and not the ACA and its consultants, shall remain responsible for compliance with the same. Applicant further understands and acknowledges that ACA's approval in no way indicates compliance with any applicable codes and that such approval assumes that the applicant will comply with any applicable codes. In addition, the undersigned applicant hereby indemnifies and holds harmless the Modifications Committee and the ACA and its consultants (the "Indemnities") from any and all claims, losses, expenses (including attorney's fees), or damage incurred by the Indemnities arising from or as a result of the approval of the Modifications Committee or the construction of any approved modifications, alterations, or improvements. It will be the homeowner's responsibility to obtain the applicable building permits from Montgomery County, as well contacting Miss Utility (1-800-257-7777) prior to any digging. All side and rear yard lot lines as well as any other building restriction lines and conservation easements must be strictly adhered to. The Committee reserves the future option to require landscaping for screening purposes. The applicant acknowledges that construction must commence within six (6) months of approval and be completed within one year from commencement, that all modifications shall comply with the Governing Documents and these Architectural Guidelines and any approval conditions, and that Modifications that have not commenced within six (6) months from the date of approval are considered null and void and owners must reapply for approval of the modification.

SIGNATURE OF APPLICANT _____

DATE 11/7/16

DATE RECEIVED

NOV 7 2016

LOG #

BY: K. Tam

#3838

ARCHITECTURAL MODIFICATION APPLICATION FOR
PICTURES OF EXISTING PATIO AND YARD

#1 Approaching from the right side of the house

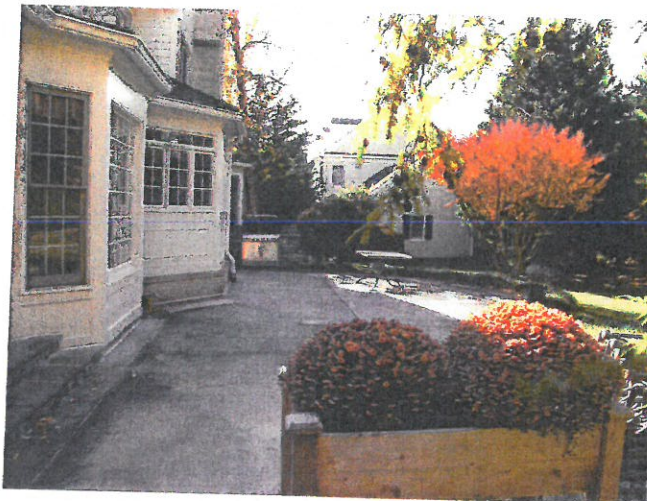


#2 Additional view from the right of existing patio



ARCHITECTURAL MODIFICATION APPLICATION FOR
PICTURES OF EXISTING PATIO AND YARD

#3 Right view of existing patio



#4 Left view of existing patio



ARCHITECTURAL MODIFICATION APPLICATION FOR
PICTURES OF EXISTING PATIO AND YARD

#5 View from the rear yard

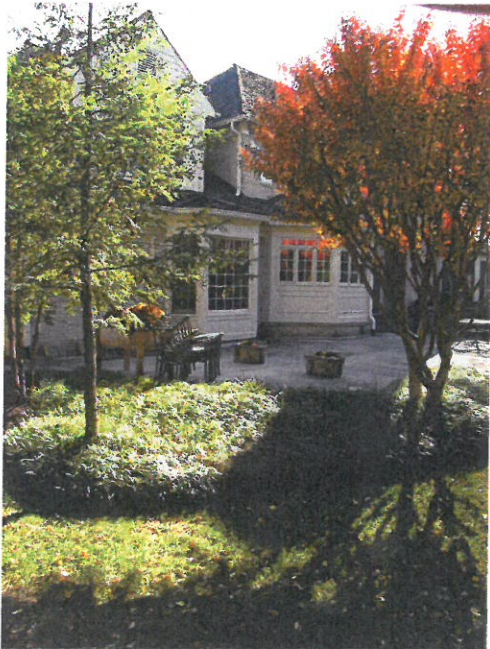


#6 Additional view from rear yard

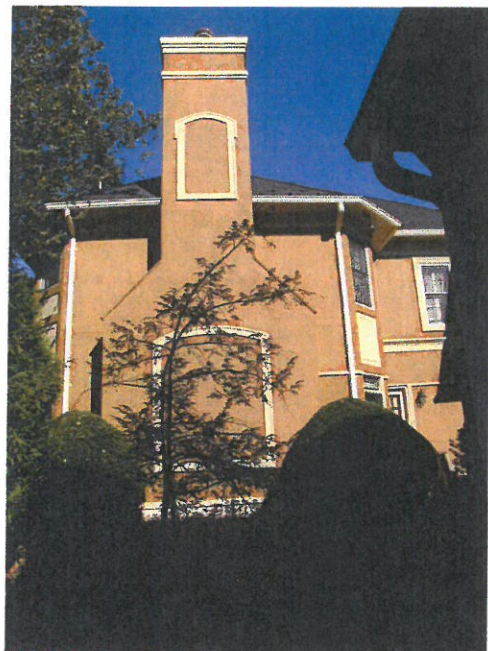


ARCHITECTURAL MODIFICATION APPLICATION FOR 4711 POWERS BL. UNIT 101
PICTURES OF EXISTING PATIO AND YARD

#7 Additional view from rear yard



#8 View from the existing patio of the neighbor's house (on right side)



ISSUED FOR: HOA SUBMITTAL
ISSUED DATE: 11.07.2016

NOT FOR CONSTRUCTION

R. POTOMAC, MD 20854

BOWA
Transforming Houses into Homes

7900 WESTPARK DRIVE, SUITE A180 McLEAN, VIRGINIA 22102
TEL (703) 734-9050 FAX (703) 734-0188 www.BOWA.com

STRUCTURAL ENGINEER:

JZ STRUCTURAL CONSULTING INC
43134 AMBERWOOD PLAZA, SUITE 235 CHANTILLY, VA 22152
TEL (703) 327-9912 FAX (703) 327-8285

ABBREVIATIONS

ABOVE FINISHED FLOOR	AFF	NOT IN CONTRACT	N.I.C.
ACCESS PANEL	A.P.	NUMBER	NO.
ACOUSTICAL	ACOUS	ON CENTER	O.C.
ADJACENT	ADJ	OPENING	OPNG
AIR CONDITIONING	A/C	OPPOSITE HAND	OPH
ALUMINUM	AL	PAINTED	PTD
APPROXIMATE	APPROX	PARTITION	PARTN
ARCHITECTURAL	ARCH	PLASTER	PL
BLOCKING	BLKG	PLASTIC LAMINATE	PLAM
CEILING	CLG	PLYWOOD	PLYWD, PLY
CEILING HEIGHT	C.H.	QUANTITY	QTY
CENTER LINE	C.L.	RECESSED	REC
CERAMIC TILE	C.T.	REQUIRED	REQ'D
CLOSET	C.L.	RETURN AIR	R.A.
COLUMN	COL	REVISE/REVISION	REV
CONCRETE	CONC	ROUGH OPENING	R.O.
CONSTRUCTION	CONST	SCHEDULE	SCHED
CONTINUOUS	CONT	SECTION	SECT
DETAIL	DTL	SHEET	SHT
DIMENSION	DIM.	SIMILAR	SIM
DOOR	DR.	SOLID CORE	SC
DOUBLE	DBL	SQUARE FOOT	SQFT
DOWN	DN	STAINLESS STEEL	S.STL
DRAWING	DWG	STANDARD	STD
EACH	EA	STEEL	STL
ELECTRICAL	ELEC	STORAGE	STOR
ELEVATION	EL	TELEPHONE	TEL
EMERGENCY	EMER	TO BE DETERMINED	TBD
EQUAL	EQ	TYPICAL	TYP.
EQUIPMENT	EQPT	UNLESS OTHERWISE NOTED	UON
EXISTING	EXG	VERIFY IN FIELD	VIF
EXTERIOR	EXT	VINYL COMPOSITION TILE	VT/VCT
FINISH	FIN	WITH	W/
FINISH FLOOR	FIN FL	WITHOUT	W/O
FIREPROOF	FPRF		
SELF-CLOSING	S.C.		
FLOOR	FL		
FLUORESCENT	FLUOR		
FOOT/FEET	FT		
BY OTHERS/OWNER	B.O.		
GLASS	GL		
GRILLE	GRL		
GROUND FAULT INTER.	GFI		
GYPSUM WALLBOARD	GWB		
HANDRAIL	HNDRL		
HARDBOARD	HBDB		
HEATING, VENT. & A/C	HVAC		
HOLLOW CORE	HC		
HOLLOW METAL	H.M.		
HORIZONTAL	HORIZ		
INCHES	IN.		
INSULATION	INSUL		
JUNCTION BOX	J.B.		
LAMINATE	LAM		
LOW VOLTAGE	L.V.		
MATERIAL	MATL		
MAXIMUM	MAX		
MECHANICAL	MECH		
METAL	MTL		
MINIMUM	MIN		
MOLDING	MLDG		
MOUNTED	MTD		
MULLION	MUL		
NOMINAL	NOM		
NOT APPLICABLE	N.A.		

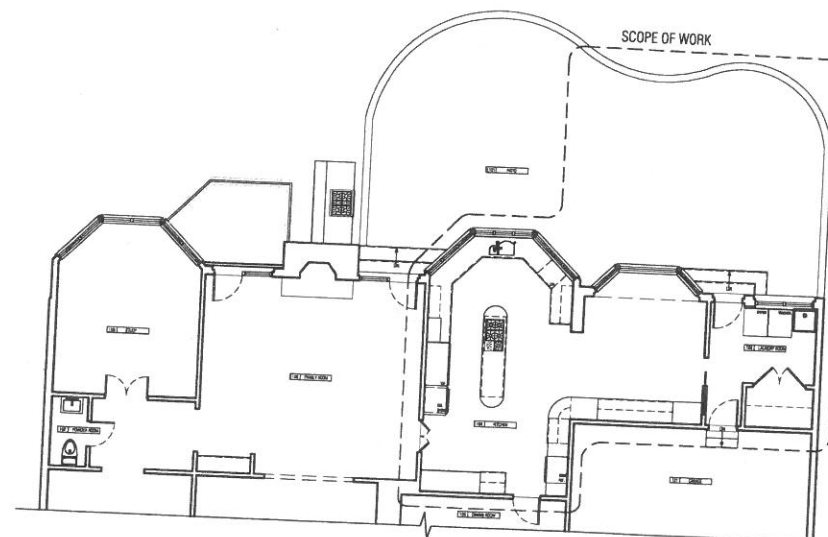
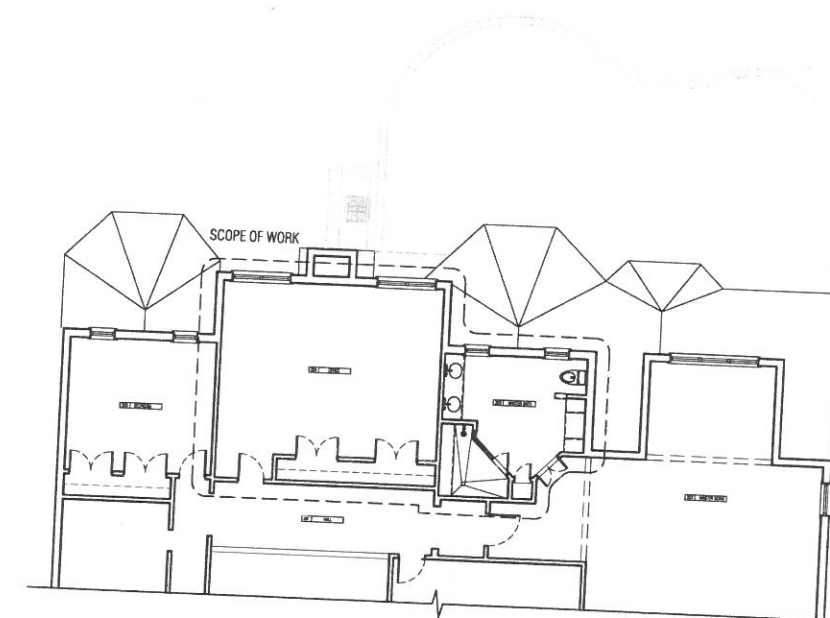
DRAWING SYMBOLS

	CEMENTITIOUS BOARD
	STONE
	TILE
	MDF / PLYWOOD
	PLYWOOD
	FINISH WOOD
	CONTINUOUS BLOCKING OR STRUCTURAL WOOD
	NONCONTINUOUS BLOCKING
	GWB
	RIGID INSULATION
	BATT INSULATION
	GLASS / TRANS. PLASTIC
	MEMBRANE
	GLASS IN ELEVATION
	ELEVATION NUMBER
	COLUMN LINES
	PROPERTY LINE
	BREAK LINE
	HIDDEN OR OVERHEAD
	DIMENSION LINE
	ALIGNMENT
	DETAIL SECTION
	ELEVATION SYMBOL
	BUILDING SECTION
	DRAWING TITLE
	ROOM IDENTIFICATION
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	MILLWORK TAG
	REVISION SYMBOL

LIST OF DRAWINGS

ARCHITECTURAL

T-001	DRAWING LIST, PROJECT DIRECTORY, KEY PLAN
Z-101	GENERAL NOTES
D-100	DEMOLITION PLAN - FIRST FLOOR
D-101	DEMOLITION PLAN - SECOND FLOOR
A-100	PROPOSED PLAN - FIRST FLOOR
A-101	PROPOSED PLAN - SECOND FLOOR
A-400	EXTERIOR ELEVATIONS - REAR & SIDES



GENERAL NOTES

- SCOPE OF WORK: AN INTERIOR RENOVATION TO AN EXISTING SINGLE FAMILY HOUSE. RENOVATION INCLUDES THE KITCHEN, LAUNDRY ROOM, MASTER BATHROOM, AND A NEW SCREEN PORCH. STRUCTURAL WORK AS PER STRUCTURAL PLANS. THE RENOVATED INTERIOR AND EXTERIOR SPACE ENCOMPASSES APPROXIMATELY 1,127 SF TOTAL. ARCHITECTURAL, MECHANICAL AND PLUMBING WORK AS PER PLANS.
- ALL WORK SHALL CONFORM TO THE FOLLOWING STANDARDS. 2012 INTERNATIONAL BUILDING CODE WITH ALL MARYLAND AMENDMENTS AND ALL OTHER APPLICABLE BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR CONSTRUCTION INSPECTIONS AND SIGNOFFS AS REQUIRED.

ZONING NOTES

ZONING ANALYSIS
DISTRICT NAME: POTOMAC (10TH) ELECTION DIST.
ZONING DESCRIPTION: RE-2C
LEGAL DESCRIPTION: AVENEL
MAP NUMBER: FM63

USE
EXISTING & PROPOSED USE GROUP: SINGLE FAMILY DETACHED

LOT AREA
17,987 SQUARE FEET (0.4 ACRES)

FLOOR AREA
MAXIMUM RESIDENTIAL FAR: NONE PRESCRIBED

LOT COVERAGE
MAX. ALLOWABLE LOT COVERAGE: 75% (25% OPEN SPACE)

YARDS
FRONT BUILDING RESTRICTION LINE: 50' (EXG NO CHANGE, COMPLIES)
MINIMUM SIDE YARD: 17' (EXG NO CHANGE, COMPLIES)
MINIMUM REAR YARD: 35' (EXG NO CHANGE, COMPLIES)

HEIGHT AND SETBACK
MAXIMUM BUILDING HEIGHT: 35' (EXG NO CHANGE, COMPLIES)

OWNER'S SAFETY PLAN

- GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS OF ALL AGENCIES HAVING JURISDICTION.
- STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR INHABITANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 7 A.M. TO 5 P.M., MONDAYS THROUGH FRIDAYS, EXCEPT LEGAL HOLIDAYS.

GENERAL ELECTRICAL NOTES

- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC, SIZES AND LOCATION OF EQUIPMENT AND WIRING ARE SHOWN TO SCALE WHERE POSSIBLE, BUT MAY BE DISTORTED FOR CLARITY ON THE DRAWINGS. FINAL LOCATION OF OUTLETS AND EQUIPMENT SHALL BE AS APPROVED BY THE CLIENT DURING ELECTRICAL WALKTHROUGH. IT IS NOT WITHIN THE SCOPE OF DRAWINGS TO SHOW ALL NECESSARY BENDS, OFFSETS, PULL BOXES AND OBSTRUCTIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL HIS WORK TO CONFORM TO THE STRUCTURE, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAN.
- WORK SHALL INCLUDE ALL POWER, GROUNDING AND EMPTY CONDUIT REQUIREMENTS NECESSARY FOR THE COMPLETE ELECTRICAL SYSTEM INSTALLATION.
- FURNISH AND INSTALL WIRING FOR EQUIPMENT FURNISHED BY OTHERS, AS SHOWN ON ARCHITECTURAL, HVAC, PLUMBING AND/OR ELECTRICAL DRAWINGS. COORDINATE WITH OTHER TRADES FOR DETAILS OF INSTALLATION AND WIRING REQUIREMENTS. THE TERM "WIRING" AS USED HEREIN SHALL INCLUDE FURNISHING AND INSTALLING CONDUIT, WIRES, JUNCTION/OUTLET BOXES, DISCONNECTS, OVERCURRENT PROTECTION AND FINAL CONNECTIONS. COORDINATE FINAL CONDUCTOR SIZES, QUANTITIES, VOLTAGE REQUIREMENTS, AND OVERCURRENT DEVICE AND OUTLET RATINGS WITH ACTUAL EQUIPMENT TO BE FURNISHED TO THE SITE PRIOR TO FINALIZING WIRING INSTALLATION. MINOR ADJUSTMENTS TO WIRING REQUIREMENTS NECESSARY TO ACCOMMODATE ACTUAL FURNISHED EQUIPMENT SHALL BE PROVIDED AT NO ADDITIONAL COST TO OWNER.
- THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS:
 - 2012 INTERNATIONAL BUILDING CODE WITH ALL MARYLAND AMENDMENTS
 - 2014 NATIONAL ELECTRICAL CODE (NEC)
 - ALL LOCAL JURISDICTION DIRECTIVES AND REQUIREMENTS.
- VERIFY LOCATIONS OF ALL ELECTRICAL EQUIPMENT WITH ARCHITECTURAL DRAWINGS OR INTERIOR DETAILS. IN CENTERING OUTLETS AND LOCATING BOXES OR OUTLETS, ALLOW FOR OVERHEAD PIPES, DUCTS, MECHANICAL EQUIPMENT, VARIATIONS IN FIREPROOFING AND PLASTERING, WINDOW AND DOOR TRIM, PANELING, HUNG CEILING, ETC., AND CORRECT ANY INACCURACY RESULTING FROM FAILURE TO DO SO WITHOUT EXPENSE TO OWNER.
- SECURE ALL SUPPORTS TO BUILDING STRUCTURE AS REQUIRED. SUPPORT HORIZONTAL CONDUIT RUNS AT NO MORE THAN 10' INTERVALS.
- UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL ADJUST AND TEST ALL CIRCUITS, OUTLETS, SWITCHES, LIGHTS, MOTORS AND ANY OTHER ELECTRICAL ITEMS INSTALLED. ANY DEFECTIVE ITEMS SHALL BE IMMEDIATELY REPAIRED OR REPLACED WITH NEW EQUIPMENT OR MATERIALS AND THAT PORTION OF THE SYSTEM SHALL BE RETESTED. ALL SUCH REMEDIAL WORK SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL BALANCE ALL PANELBOARDS AFFECTED TO WITHIN 10% DEVIATION BETWEEN PHASES.
- AFTER COMPLETION OF WORK, CLEAN UP ALL RESULTANT DEBRIS AND REMOVE FROM THE SITE.
- PROVIDE GFI TYPE PROTECTION FOR ANY RECEPTACLES WITHIN 5' OF WATER OR LIQUIDS.
- ALL HARD WIRING OF SMOKE DETECTION SYSTEM SHALL BE DONE BY THIS CONTRACTOR AND SHALL MEET BUILDING AND FIRE DEPARTMENT STANDARDS.
- COORDINATE TELEPHONE AND CATV SERVICE WITH VENDORS.

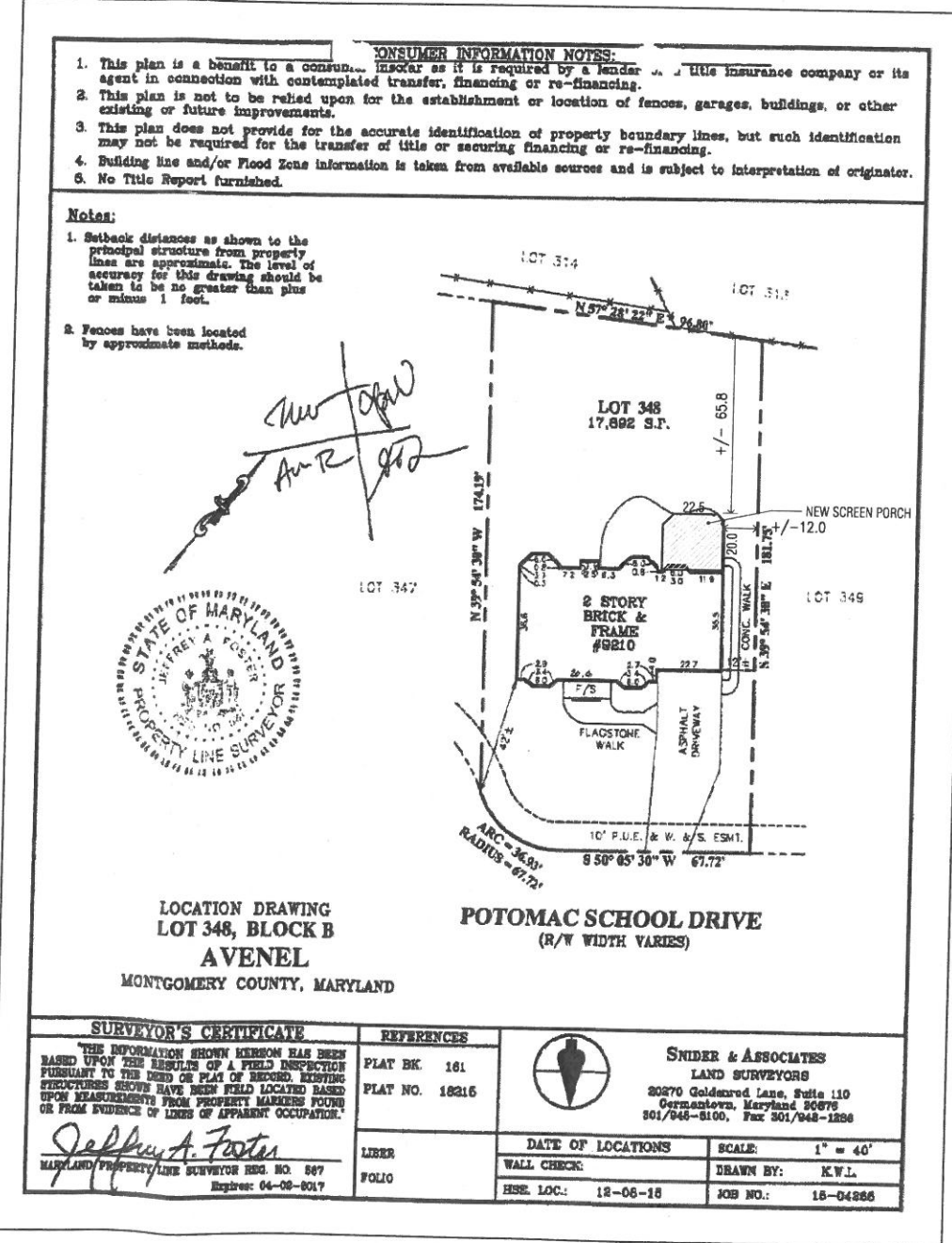
SMOKE DETECTOR NOTES

- SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER IRC 313.
- ALL SMOKE DETECTING DEVICES SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF IRC 2006 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

PLAT: 1" = 40'-0"

SMOKE DETECTOR NOTES (CONT'D)

- SMOKE DETECTING DEVICES IN NEW CONSTRUCTION SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVERCURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.



BOWA
7900 WESTPARK DRIVE
SUITE A180
MCLEAN VIRGINIA 22102
(703) 734-9050

Notification of Changes

Contractors will verify and be responsible for all dimensions and conditions and will inform this office of all variations from drawings prior to performing work. Written dimensions have authority over scaled.

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NOT FOR CONSTRUCTION

DRAWING DATA

PROJECT: 25-16-702
ADDRESS: 30370 Goldenrod Lane, Suite 110, Germantown, MD 20876
POTOMAC, MD 20854

DRAWING TITLE: GENERAL NOTES

REVISION NO: .01
ISSUED DATE: CONSTRUCTION COMMITMENT 20160913

REVISION NO: .02
ISSUED DATE: HOA SUBMITTAL 20161107

SEAL & SIGNATURE:



PROJECT NO: 25-16-702
DATE: 11.07.2016
SCALE: AS NOTED
DRAWN BY: SD/VT
CAD FILE: Z100 Notes

Z100.02

GENERAL DEMOLITION NOTES:

1. ALL DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE CAREFULLY REMOVED UNLESS OTHERWISE NOTED. COVER AND PROTECT FLOOR AND WALLS TO REMAIN AS NECESSARY TO FACILITATE FUTURE CONSTRUCTION.
2. PLUMBING - REMOVE EXISTING PLUMBING FIXTURES AND FITTINGS AS NOTED AND TEMPORARILY CAP ALL PLUMBING LINES.
3. MECHANICAL - NO CHANGE TO EXG SUPPLIES OR RETURNS, UNO.
4. PROVIDE ALL TEMPORARY ELECTRICAL CONNECTIONS, LIGHTING, AND DISTRIBUTION AS REQUIRED FOR THE EXECUTION OF THE WORK AND REQUIRED SAFETY.

5. GENERAL CONTRACTOR OR DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ARRANGEMENTS, PERMITS, AND COORDINATION OF DUMPSTERS AND DISPOSAL OF CONSTRUCTION DEBRIS.
6. JOB SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
7. EXG. WINDOWS TO REMAIN UNO.
8. EXG DOORS TO REMAIN UNO.

LEGEND:

- EXG PARTITION TO REMAIN
- EXG PARTITION TO REMOVE
- NEW PARTITION



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CONSTRUCTION

DRAWING DATA

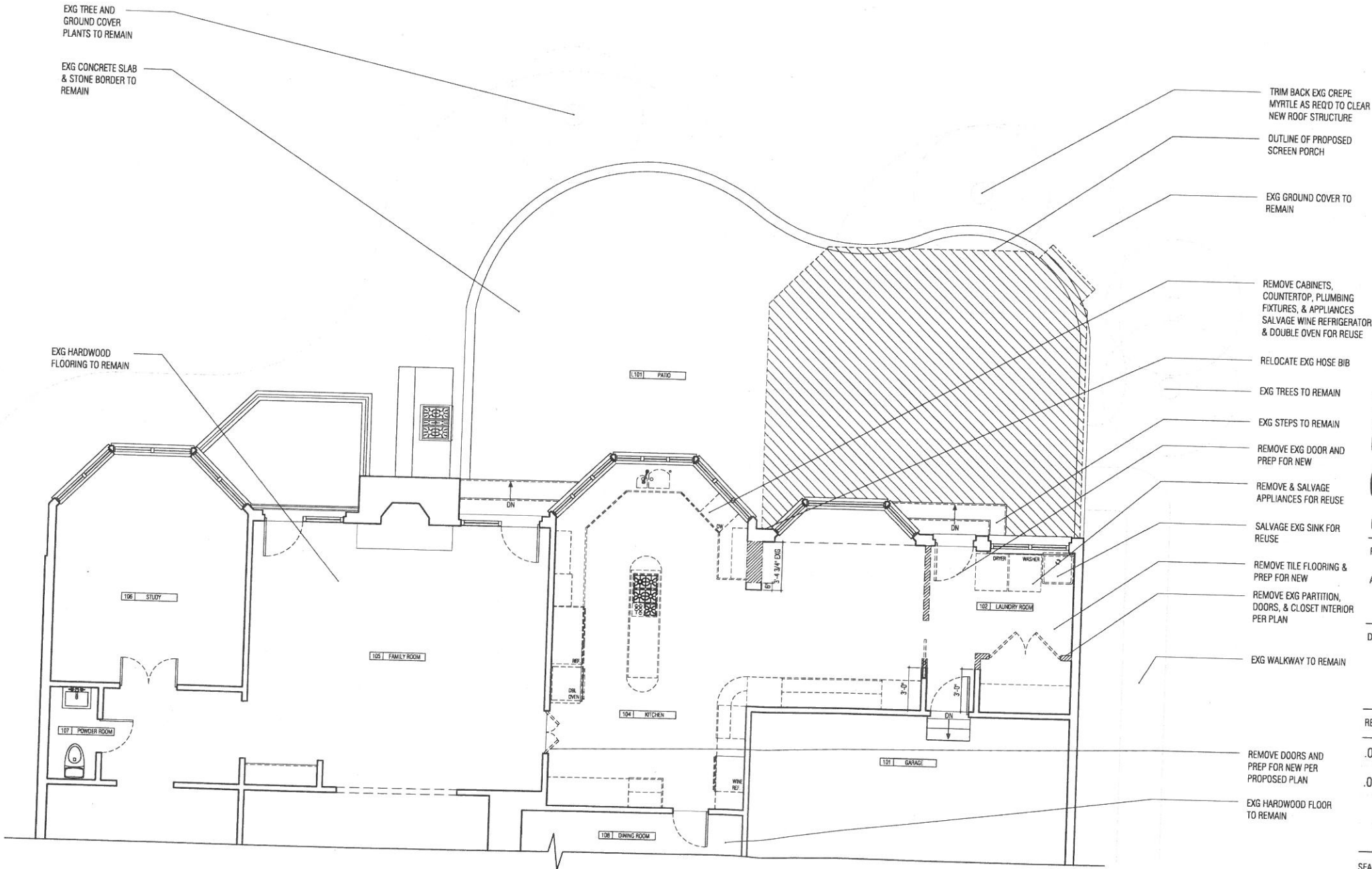
PROJECT:	
ADDRESS:	POTOMAC, MD 20854
DRAWING TITLE:	DEMOLITION PLAN FIRST FLOOR
REVISION NO:	ISSUED DATE:
.01	CONSTRUCTION COMMITMENT 20160913
.02	HOA SUBMITTAL 20161107

SEAL & SIGNATURE:



PROJECT NO: 25-16-702
DATE: 11.07.2016
SCALE: 3/16" = 1'-0"
DRAWN BY: SD/VT
CAD FILE: A100 Plans

D100.02



1 DEMOLITION PLAN - FIRST FLOOR
3/16" = 1'-0"

GENERAL DEMOLITION NOTES:

1. ALL DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE CAREFULLY REMOVED UNLESS OTHERWISE NOTED. COVER AND PROTECT FLOOR AND WALLS TO REMAIN AS NECESSARY TO FACILITATE FUTURE CONSTRUCTION.
2. PLUMBING - REMOVE EXISTING PLUMBING FIXTURES AND FITTINGS AS NOTED AND TEMPORARILY CAP ALL PLUMBING LINES.
3. MECHANICAL - NO CHANGE TO EXG SUPPLIES OR RETURNS, UNO.
4. PROVIDE ALL TEMPORARY ELECTRICAL CONNECTIONS, LIGHTING, AND DISTRIBUTION AS REQUIRED FOR THE EXECUTION OF THE WORK AND REQUIRED SAFETY.

5. GENERAL CONTRACTOR OR DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ARRANGEMENTS, PERMITS, AND COORDINATION OF DUMPSTERS AND DISPOSAL OF CONSTRUCTION DEBRIS.
6. JOB SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
7. EXG. WINDOWS TO REMAIN UNO.
8. EXG DOORS TO REMAIN UNO.

LEGEND:

- EXG PARTITION TO REMAIN
- EXG PARTITION TO REMOVE
- NEW PARTITION



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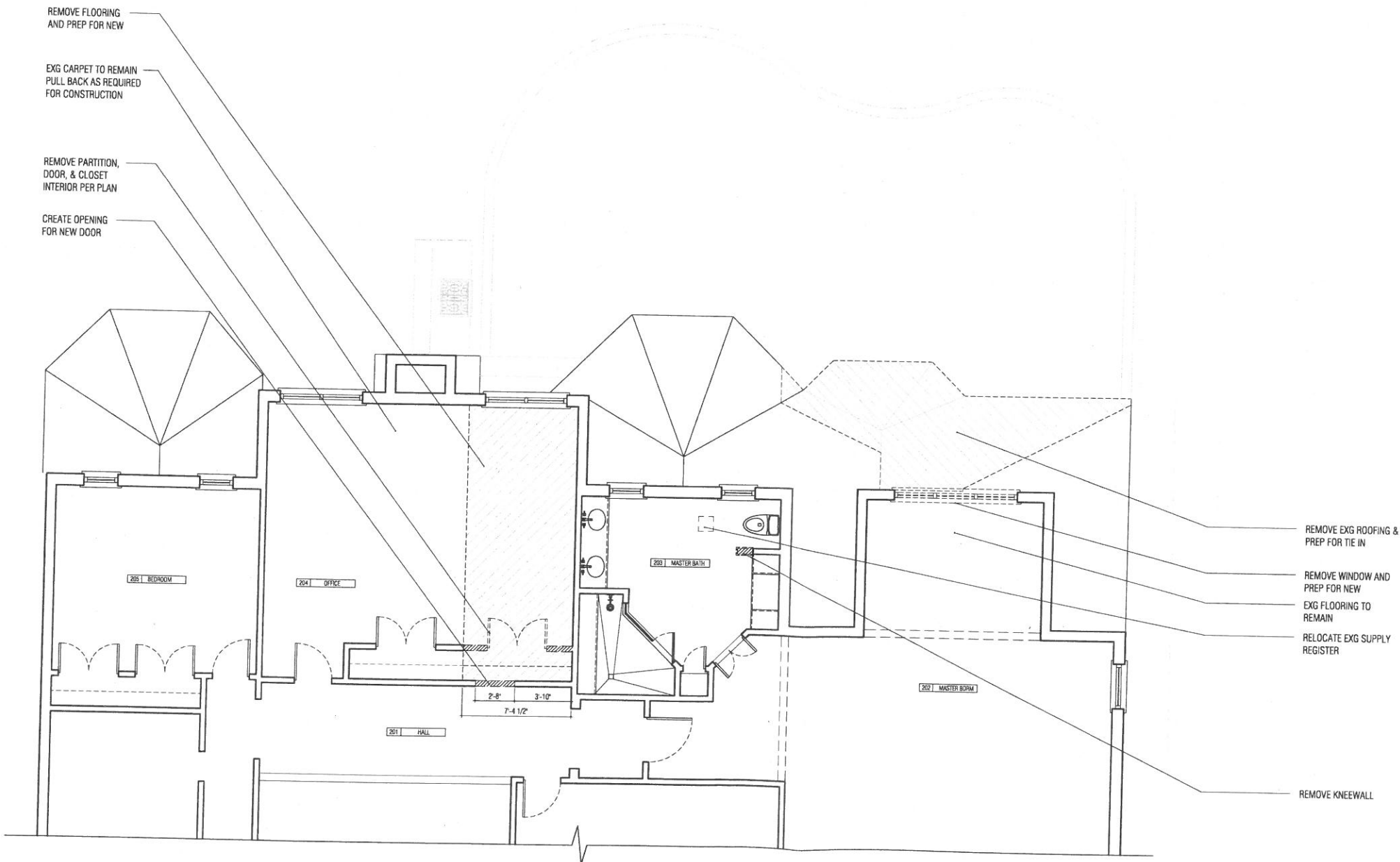
NOT FOR
CONSTRUCTION

DRAWING DATA

PROJECT:	
ADDRESS:	POTOMAC, MD 20854
DRAWING TITLE:	DEMOLITION PLAN SECOND FLOOR
REVISION NO:	ISSUED DATE:
.01	CONSTRUCTION COMMITMENT 20160913
.02	HOA SUBMITTAL 20161107

SEAL & SIGNATURE:	PROJECT NO: 25-16-702
	DATE: 11.07.2016
	SCALE: 3/16" = 1'-0"
	DRAWN BY: SD/VT
	CAD FILE: A100 Plans

D101.02



1 DEMOLITION PLAN - SECOND FLOOR
3/16" = 1'-0"

GENERAL CONSTRUCTION NOTES:

1. ALL DIMENSIONS TO FINISH FACE UNO.
2. EXISTING WINDOWS AND EXTERIOR DOORS TO REMAIN UNO.
3. NEW WALL & TRIM PAINT TO MATCH EXISTING.
4. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
5. JOB SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.

LEGEND:

- EXG PARTITION TO REMAIN
- EXG PARTITION TO REMOVE
- NEW PARTITION



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SUITE A180
McLEAN VIRGINIA 22102
(703) 734-9050

Notification of Changes

Contractors will verify and be responsible for all dimensions and conditions and will inform this office of all variations from drawings prior to performing work. Written dimensions have authority over scaled.

Copyright Notice

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NOT FOR
CONSTRUCTION

DRAWING DATA

PROJECT:	POTOMAC, MD 20854
ADDRESS:	
DRAWING TITLE:	PROPOSED PLAN SECOND FLOOR
REVISION NO:	ISSUED DATE:
.01	CONSTRUCTION COMMITMENT 20160913
.02	HOA SUBMITTAL 20161107

SEAL & SIGNATURE:

PROJECT NO: 25-16-702

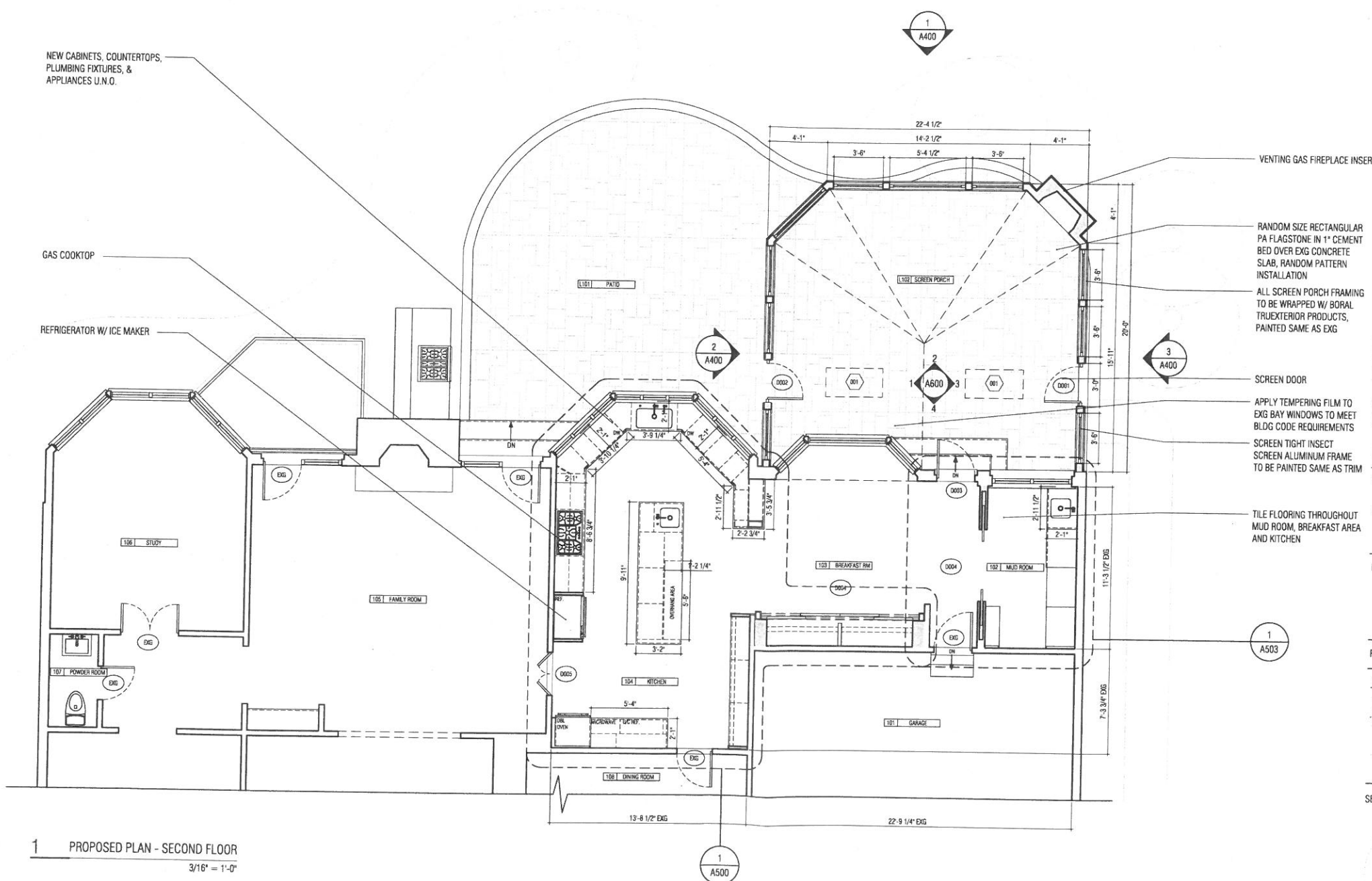
DATE: 11.07.2016

SCALE: 3/16" = 1'-0"

DRAWN BY: SD/VT

CAD FILE: A100 Plans

A100.02



1 PROPOSED PLAN - SECOND FLOOR
3/16" = 1'-0"

GENERAL CONSTRUCTION NOTES:

- 1. ALL DIMENSIONS TO FINISH FACE UNO.
- 2. EXISTING WINDOWS AND EXTERIOR DOORS TO REMAIN UNO.
- 3. NEW WALL & TRIM PAINT TO MATCH EXISTING.
- 4. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
- 5. JOB SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.

LEGEND:

- EXG PARTITION TO REMAIN
- EXG PARTITION TO REMOVE
- NEW PARTITION



BOWA
7900 WESTPARK DRIVE
SUITE A180
MCLEAN VIRGINIA 22102
(703) 734-9050

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DRAWING DATA

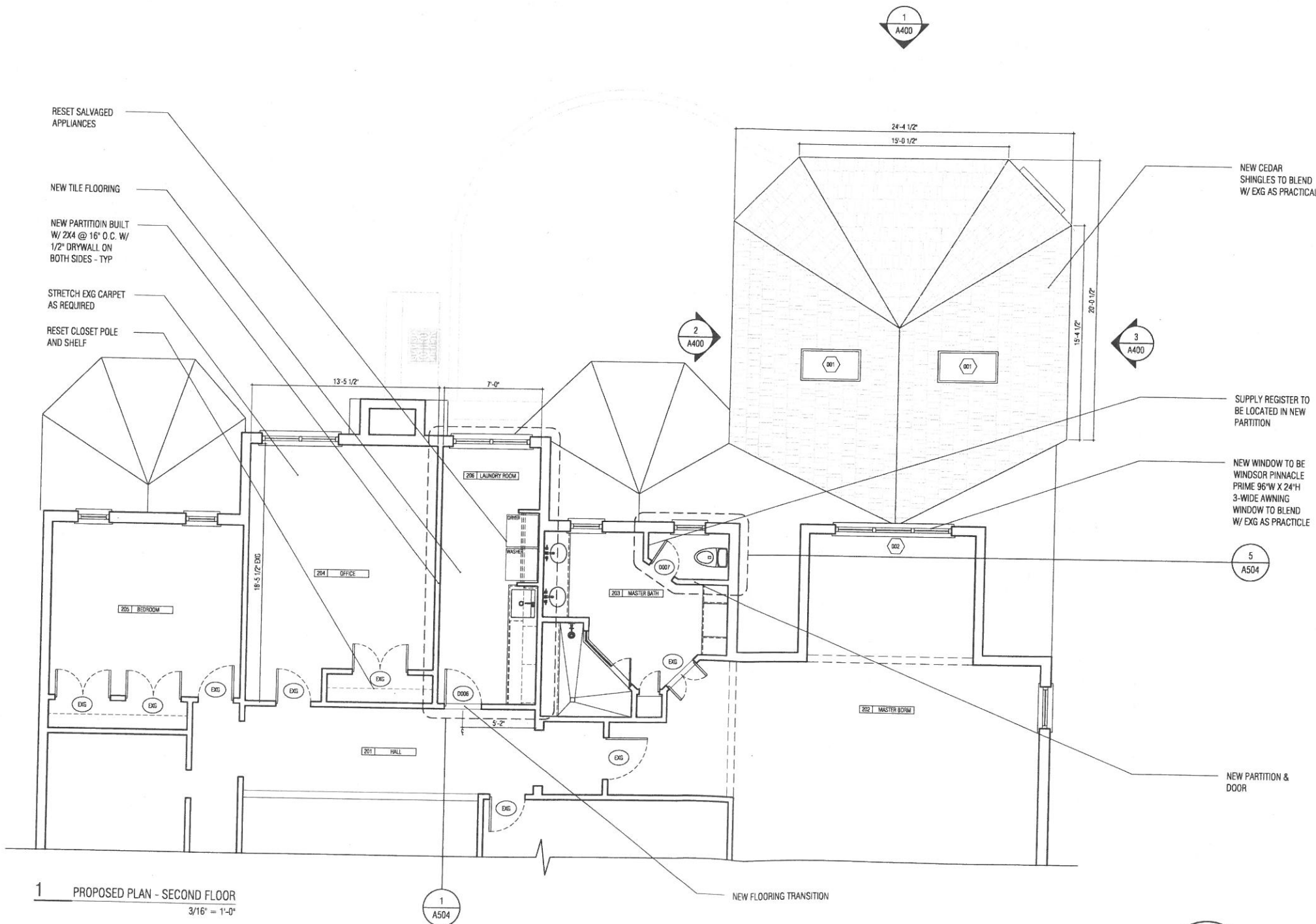
PROJECT:	
ADDRESS:	POTOMAC, MD 20854
DRAWING TITLE:	PROPOSED PLAN SECOND FLOOR
REVISION NO:	ISSUED DATE:
.01	CONSTRUCTION COMMITMENT 20160913
.02	HOA SUBMITTAL 20161107

SEAL & SIGNATURE:



PROJECT NO: 25-16-702
DATE: 10.21.2016
SCALE: 3/16" = 1'-0"
DRAWN BY: SD/VT
CAD FILE: A100 Plans

A101.02



BOWA
7900 WESTPARK DRIVE
SUITE A180
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NOT FOR CONSTRUCTION

DRAWING DATA

PROJECT:	
ADDRESS:	POTOMAC, MD 20854
DRAWING TITLE:	EXTERIOR ELEVATIONS REAR AND SIDES
REVISION NO:	ISSUED DATE:
.01	CONSTRUCTION COMMITMENT 20160913
.02	HOA SUBMITTAL 20161107

SEAL & SIGNATURE:	PROJECT NO: 25-16-702
	DATE: 11.07.2016
	SCALE: 3/16" = 1'-0"
	DRAWN BY: SD/VT
	CAD FILE: A400 Elevations

A400.02

